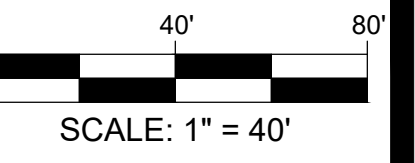
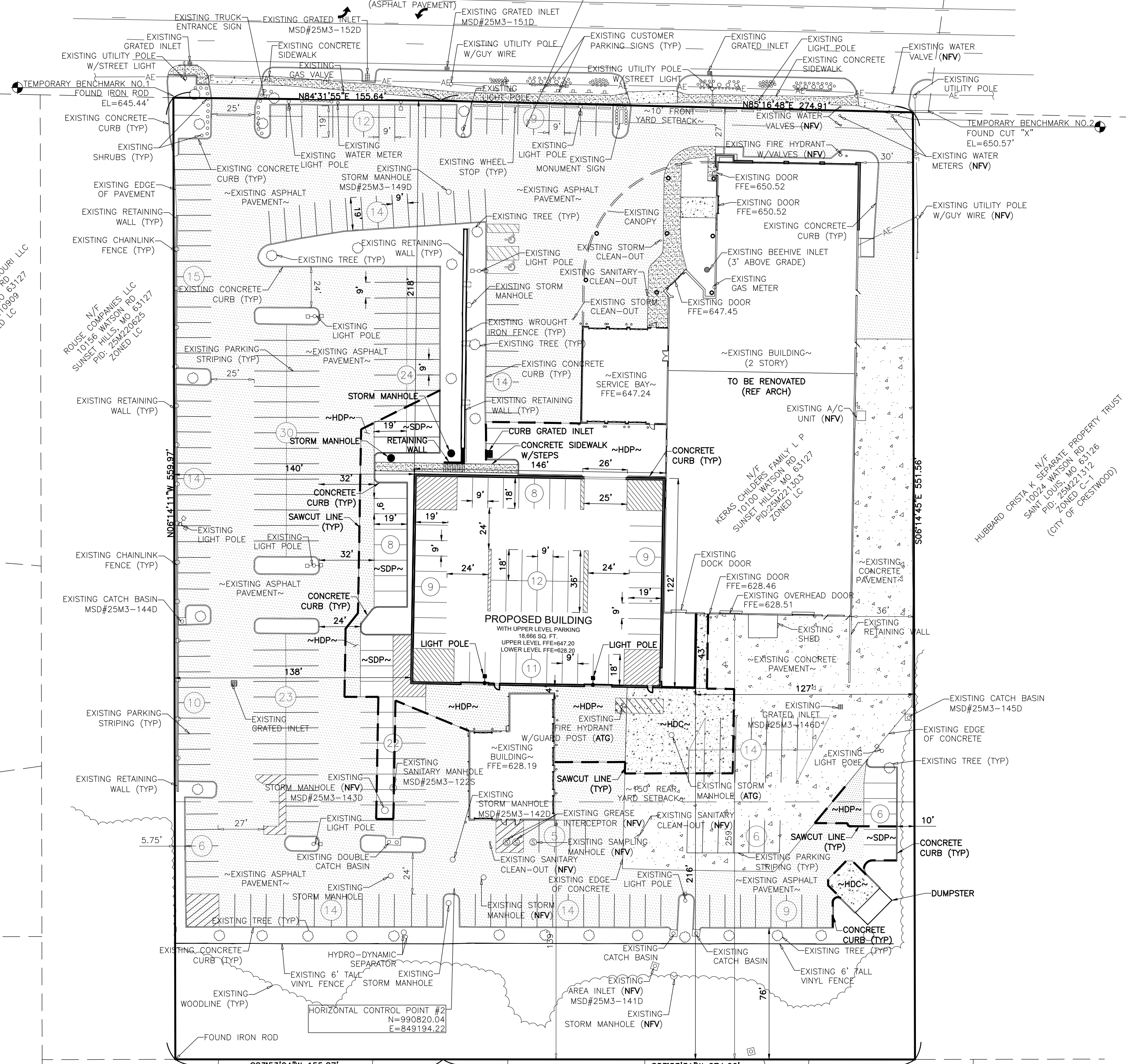


SITE PLAN



WATSON ROAD

(100' RIGHT OF WAY)



SITE NOTES:

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
 - Field work was completed on this site by BFA, Inc. on January 05, 2026.
 - Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
- Primary Benchmark - Bearings referenced to Grid North of the Missouri Coordinate System 1983 East Zone and elevations referenced to NAVD 1988 per GPS observation utilizing the MODOT VRS RTK Network.
- Temporary Benchmark No. 1 - Found Iron Rod @ Northwest corner of site
 Northing = 991261.38
 Easting = 84982.45
 Elevation = 645.44
 - Temporary Benchmark No. 2 - Found Cut "X" @ Northeast corner of site
 Northing = 991299.65
 Easting = 849420.11
 Elevation = 650.57
- This site scales within Zone X, defined as areas determined to be outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map prepared by the Federal Emergency Management Agency for the City of Sunset Hills, St. Louis County, Missouri, Map No. 2918900317K, dated February 4, 2015.
 - All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
 - Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
 - The contractor is responsible for keeping storm water run-off and sedimentation under control during construction.
 - All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the contractor's expense.
 - The sitework for this project shall meet or exceed industry standards and manufacturers specifications for each improvement feature.
 - The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the Contractor.
 - All dimensions and radii are to the face of curb, unless otherwise shown.
 - Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drainage, signs, traffic signals and poles, etc as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.
 - The edges of all pavement and curb sections to be removed and/or that will have new pavement/curb sections abutting them, shall be sawcut. Remaining pavement and curb sections shall have smooth, clean edges. This means additional sawcuts may be necessary depending on Contractor's Means and methods.
 - Site is zoned as L-C, Local Commercial District per the City of Sunset Hills, MO.
- Building setback lines as per the City of Sunset Hills, MO Unified Development Ordinance:
 Front Yard = 10'
 Side Yard = None
 Rear Yard = 75' for buildings less than 24' in height & when abutting a Residential District
- All ramps and sidewalks shall meet Jurisdiction and ADA Rules/Regulations. Handrails shall be required on all ramps (sidewalk routes exceeding 1V/20H shall be constructed as ramps) that have a vertical change greater than 6 inches. Cross slopes on all sidewalks shall not exceed 2 percent.
 - Pavement striping and/or markings shall be applied using two coats of the color specified on a clean surface, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7 1/2 mils per coat. Paint shall be applied for a total dry film thickness of 15 mils. Apply with mechanical equipment to produce uniform straight edges. At sidewalk curbs and crosswalks, use straightedge to ensure uniform, clean, and straight stripe.

SITE PLAN LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	AE	AE
UTILITY POLE	•	•
GUARD POST	GP	GP
SANITARY MANHOLE	SM	SM
CATCH BASIN	CB	CB
JUNCTION BOX	JB	JB
FLARED END SECTION	DES	DES
CLEANOUT	CO	CO
GRATED INLET	GI	GI
GUARD RAIL	GR	GR
FENCE	F	F
WATER VALVE	WV	WV
FIRE HYDRANT	•	•
EASEMENT	---	---
PROPERTY LINE	---	---

SITE DEVELOPMENT STANDARDS	
SITE IS ZONED "LC" LOCAL COMMERCIAL DISTRICT PER THE CITY OF SUNSET HILLS, MO	
SITE DEVELOPMENT STANDARDS ARE PER THE CITY OF SUNSET HILLS, MO UNIFIED DEVELOPMENT ORDINANCE:	
-LOT AREA - 10,000 SF MINIMUM	SITE IS 5.50 AC OR ~239,580 SF
-FRONT BUILDING SETBACK - 10' MINIMUM	PROVIDED: 25'
-SIDE BUILDING SETBACK - 0'	PROVIDED: 30'
-REAR BUILDING SETBACK:	EXISTING SHOP BUILDING: HEIGHT - 38' = SETBACK - 180' PROVIDED: ~259'
EXISTING GAR WASH: HEIGHT - 18'-8" = SETBACK - 75'	PROVIDED: ~139'
PROPOSED EXPANSION: HEIGHT - 22'-6" = SETBACK - 75'	PROVIDED: ~216'
-FLOOR AREA RATIO (F.A.R.): 0.2	
-LOT AREA COVERAGE - 85% MAXIMUM	PROVIDED: 80%
-HEIGHT - 50' MAXIMUM	PROVIDED: 38'

PAVEMENT LEGEND	
	STANDARD DUTY PAVEMENT (SDP)
	HEAVY DUTY PAVEMENT (HDP)
	HEAVY DUTY CONCRETE PAVEMENT (HDC)

VEHICLE PARKING DATA	
CITY REQUIRED PARKING:	
VEHICLE REPAIR AND SERVICE - 4 SPACES PER STALL	20 STALLS
EXISTING SERVICE STALLS:	24 STALLS
PROPOSED SERVICE STALLS:	44 STALLS
TOTAL SERVICE STALLS:	176 SPACES
REQUIRED PARKING SPACES:	
VEHICLE SALES AND RENTAL - 1 PER 600 GFA + 1 PER 2,000 SF OF OUTDOOR SALES DISPLAY AREA	7,200 SF
SALES/SHOWROOM FLOOR AREA:	19,000 SF
OUTDOOR SALES DISPLAY AREA:	22 SPACES
REQUIRED PARKING SPACES:	
TOTAL REQUIRED PARKING SPACES:	198 SPACES
PROVIDED STANDARD SPACES:	316 SPACES
PROVIDED H.C. ACCESSIBLE SPACES:	2 SPACES
PROVIDED TOTAL PARKING:	318 SPACES

ABBREVIATION LEGEND	
STCO	STORM CLEANOUT
SSCO	SANITARY SEWER CLEANOUT
DS	DOWNSPOUT
GP	GUARD POSTS
EL	ELEVATION
FL	FLOW LINE
N/F	NOW AND/OR FORMERLY
NFV	NOT FIELD VERIFIED
ATG	ADJUST TO GRADE
(L)	ADA LANDING
(R)	ADA ACCESSIBLE RAMP

M.S.D. #
BASE MAP #25M3

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

PRELIMINARY DRAWING

FOR REVIEW PURPOSES ONLY

NOT TO BE USED FOR CONSTRUCTION

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

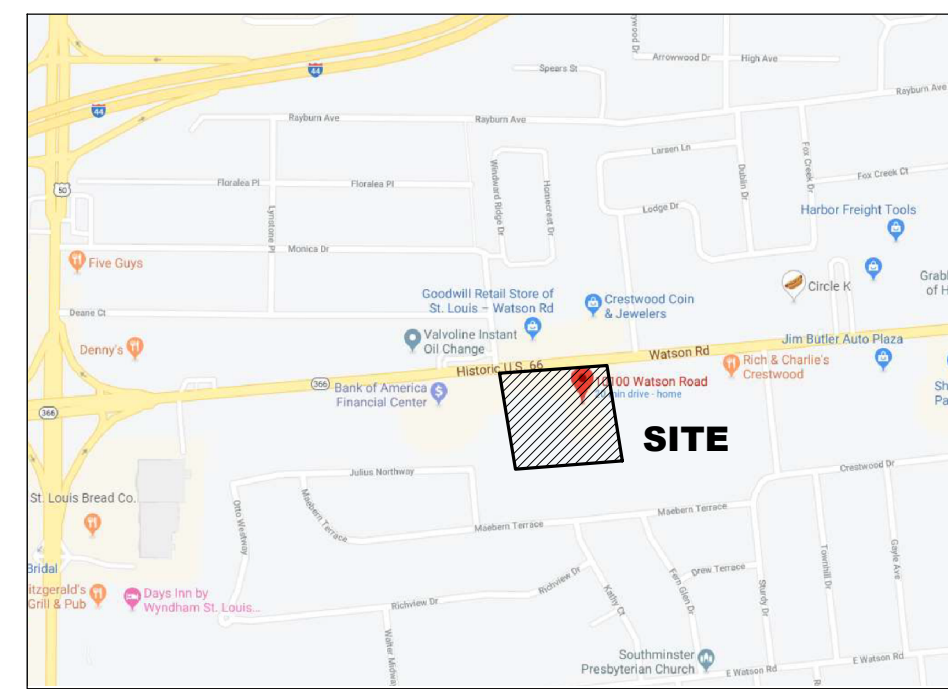
SUNSET HILLS, MISSOURI
 10100 Watson Road
 St. Louis County, MO 63127

REVISIONS	
1	By: App:
2	By: App:
3	By: App:
4	By: App:

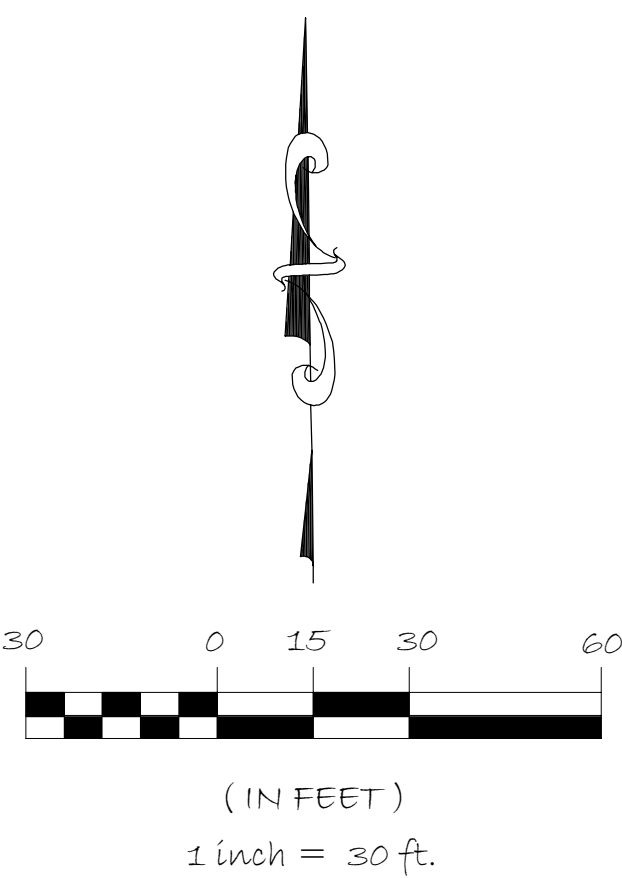
DRAWN B.L.F.
 CHECKED J.B.S.
 DATE 04/01/26
 SCALE 1"=40'
 JOB No. 9087
 SHEET NAME SITE PLAN

SP-1

HORIZONTAL CONTROL POINTS			
POINT NUMBER	DESCRIPTION	NORTHING	EASTING
1	PK NAIL NORTH OF SITE	991265.34	849188.59
6	PK NAIL SOUTH OF SITE	990820.04	849194.22



LOCATION MAP



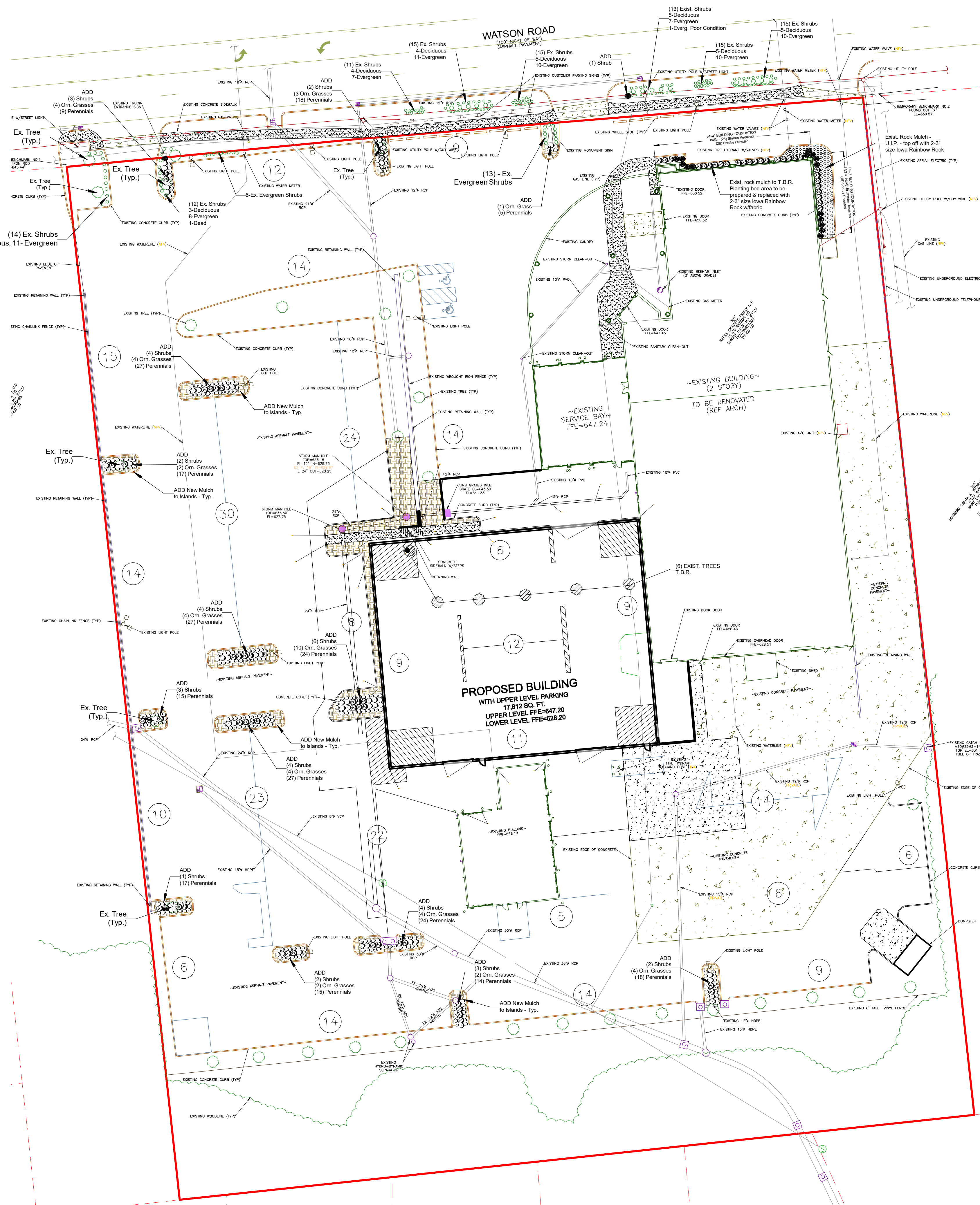
ABBREVIATIONS

CL	- Centerline
C.O	- Cleanout
D.S	- Downspout
E.P	- Edge Of Pavement
F.F	- Finished Floor
F.G	- Finished Grade
FL	- Flowline
G.L	- Gutterline
L.S	- Light Standard
(T.B.R.)	- To Be Removed
T.O.C	- Top Of Curb
T.P	- Top Of Pavement
T.O.W	- Top Of Wall
C.M	- Concrete Monument
T.W	- Top Of Walk
PL	- Property Line
A.I	- Area Inlet
R.W	- Right Of Way
G.I	- Grate Inlet
M.H	- Manhole
O.I.P	- Old Iron Pipe
R	- Radius
P.B	- Plat Book
D.B	- Deed Book
T.Br	- Top Of Bank
T.S	- Toe Of Slope
C.M.P	- Corrugated Metal Pipe
P.V.C	- Polyvinyl Chloride Pipe
V.C.P	- Vitrified Clay Pipe
C.P	- New Reinforced Concrete Pipe
R.C.P	- Reinforced Concrete Pipe
D.I.P	- Ductile Iron Pipe
F/F	- Face To Face
B/B	- Back To Back
(U.I.P.)	- Use In Place
B.W	- Bottom Of Wall
T.I	- Top Of Island
T.G	- Top Of Grade
(Typ.)	- Typical
Conc.	- Concrete
REF	- Refer
Det.	- Detail

A record original of this document is on file at the office of GATEWAY DESIGN STUDIO, LLC. Any unauthorized alterations or changes made without the expressed consent from GATEWAY DESIGN STUDIO, LLC shall deem us not responsible for any said alterations and changes.



Underground facilities, structures & utilities have been plotted from available surveys, records & information. They do not necessarily reflect the actual location, dimensions, size, type, number or location of these facilities, structures & utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures & utilities, other than as shown on these plans. The underground facilities, structures & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall not in any way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 316, RSMo.



PROPOSED LANDSCAPE LEGEND

- (102) 24" DECIDUOUS SHRUBS
 - St. Johns Wort
 - Snowberry or Coralberry
 - Potentilla
- (17) 24" EVERGREEN SHRUBS
 - Green Velvet Boxwood
 - Green Mound Jap. Juniper
 - Winterberry
- (44) 2 GAL. NATIVE/ORNAMENTAL GRASSES
 - Little Bluestem
 - 'Karl Foerster' reed grass
 - Dwarf Fountain Grass
- (268) 1 GAL. PERENNIAL FLOWER
 - Lijuytuif
 - Daylily
 - Prairie Dropseed
- 3" MIN. SHREDDED BARK MULCH W/ PRE-EMERGENT WEED CONTROL
- 2-3" SIZE IOWA RAINBOW STONE MULCH W/ FABRIC

EXISTING TREE LEGEND

- (29) EXISTING DECIDUOUS TREES TO REMAIN
- EXISTING VEGETATION LINE/ TREES AND BRUSH
- (6) EXISTING DECIDUOUS TREES TO BE REMOVED

LANDSCAPE TABULATIONS

- EXISTING LANDSCAPE
- (29) - Existing Trees - To Remain
 - (6) - Existing Trees - To Be Removed
 - (34) Existing Deciduous Shrubs - To Remain
 - (95) Existing Evergreen Shrubs - To Remain
 - (1) Shrub (poor cond.) - To Be Replaced
 - (1) Dead Shrub - To Be Replaced

- PROPOSED LANDSCAPE
- (119) Shrubs - Parking Islands and Building Foundation
 - (44) Ornamental Grasses - Parking Islands
 - (268) Perennials - Parking Islands

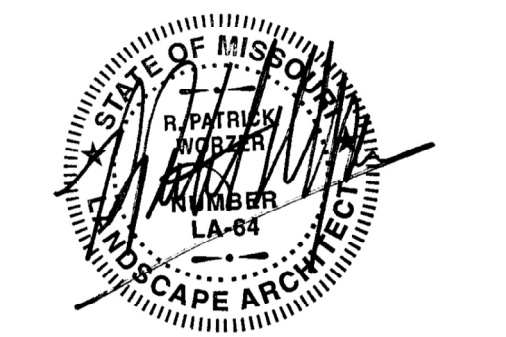
PRELIMINARY LANDSCAPE PLAN

PLAN NOTES:

1. Contractor to review and field verify existing and proposed conditions prior to installation.
2. Contractor to notify GATEWAY DESIGN STUDIO of any discrepancies.
3. Contractor to coordinate with other trades.
4. Contractor to adjust plantings accordingly, notify GATEWAY DESIGN STUDIO of any major changes.
5. Proposed plant material is to be selected by the contractor and approved by GATEWAY DESIGN STUDIO or Owner Representative prior to installation.
6. Shrub locations and planting beds to be located by the contractor and approved by GATEWAY DESIGN STUDIO or Owner Representative prior to installation.
7. MULCH: All planting beds to receive a 3 inch layer of shredded bark mulch in a continuous bed. Apply a granular pre-emergent weed control barrier prior to mulching.
8. Contractor is responsible for installing all plant material shown on plan.
9. All landscape improvements and maintenance to be done according to City of Sunset Hills requirements.
10. Plantings shall not prohibit site distance requirements.
11. Proposed conditions based on latest plans prepared by BFA, Inc. Refer to Civil Plans for proposed site development and grading requirements.
12. Refer to specifications for full requirements.

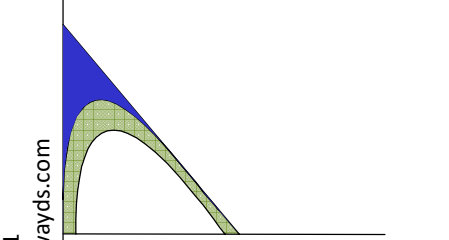
REVISIONS:

NOT FOR CONSTRUCTION



This seal and signature apply only to this document. GATEWAY DESIGN STUDIO, LLC. expressly disclaims any responsibility for all other plans, specifications, estimates, reports or other documents or instruments relating to or prepared to be used for any part of this project.

PREPARED BY:



GDS
Gateway Design Studio
landscape architecture
environmental design
Vision...Sustainability...Purpose!
Established: 1992

100 Chesterfield Business Parkway
St. Louis, MO 63043
Tel: 314.703.1800
Fax: 314.703.1800
www.gatewaydesign.com

Prepared For:

BFA, INC.
103 Elm Street
Washington, MO 63090

NOT FOR CONSTRUCTION - FOR REVIEW ONLY

SUNSET HILLS SUBARU
10100 S 10150 WATSON ROAD
Sunset Hills, MO 63127

E:\ProjectFiles\026-Projects\
026-02-SunsetHillsSubaru-BFA\
PL-1-4-6-26

Sheet No.
PL-1

Ord. By: RPW
Dwn. By: BLB/RPW
Org Date: 4/6/26
Project No: 026-02

Schedule

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Lumen Multiplier	Light Loss Factor	Total Lamp Lumens	Wattage	Plot
	S1		2	Lithonia Lighting	RSX4 LED P4 30K R4	RSX Area Luminaire Size 4 P4 Lumen Package 3000K CCT Type R4 Distribution	1	0.9	51149	430.6189	
	655		2	Cree Lighting	OSQ-HO-A-xx-5ME-65L-57K-UL CONFIGURED FROM OSQ-HO-A-NM-5ME-65L-30K-UL-BZ	CONFIGURED FROM OSQ-HO Series, Type V Medium Optic, 65L Lumen Package, 3000K CCT	1	0.9	63757	550	
	(2)655		3	Cree Lighting	OSQ-HO-A-xx-5ME-65L-57K-UL CONFIGURED FROM OSQ-HO-A-NM	CONFIGURED FROM OSQ-HO Series, Type V Medium Optic, 65L Lumen Package, 3000K CCT	1	0.9	127514	1100	
	AF		3	Cree Lighting	OSQ-HO-A-xx-AF-40L-57K-UL w/ OSQ-HO-BLSF CONFIGURED FROM OSQ-HO-A-xx-AF-40L-40KUL w/ OSQ-HO-BLSF	CONFIGURED FROM OSQ-HO Series, Type Automotive Frontline Optic w/ BacklightShield, 40L Lumen Package, 4000K CCT	1	0.9	33794	341	
	402		2	Cree Lighting	OSQ-HO-A-xx-2ME-40L-57K-UL w/ OSQ-HO-BLSF CONFIGURED FROM OSQ-HO-A-xx-2ME-40L-40KUL w/ OSQ-HO-BLSF	CONFIGURED FROM Cree OSQ Series Area High Output Luminaire with Back Light Shield, Type II Medium Distribution, 40L Lumen Package, 4000K	1	0.9	34164	341	
	654		2	Cree Lighting	OSQ-HO-A-xx-4ME-65L-57K-UL w/ OSQ-HO-BLSF CONFIGURED FROM OSQ-HO-A-xx-4ME-40L-40KUL w/ OSQ-HO-BLSF	CONFIGURED FROM Cree OSQ Series Area High Output Luminaire with Backlight Shield, Type IV Medium Distribution, 40L Lumen Package, 4000K	1	0.9	54270	550	
	W3		6	Cree Inc	XSPW-B-WM-3ME-8L-57K-UL-WH	XSPW Wall Mount, Type III Medium Distribution, 8L, 5700K CCT	1	0.9	8326	69.21	
	W4		8	Cree Inc	XSPW-B-WM-4ME-8L-57K-UL-xxxx CONFIGURED FROM XSPW-B-WM-4ME-8L-40K-UL-xxxx	CONFIGURED FROM XSPW Version B, Wall Mount, Type 4ME Distribution, 8L Lumen Package, 4000K, 120-277V	1	0.9	8475	71	

Statistics

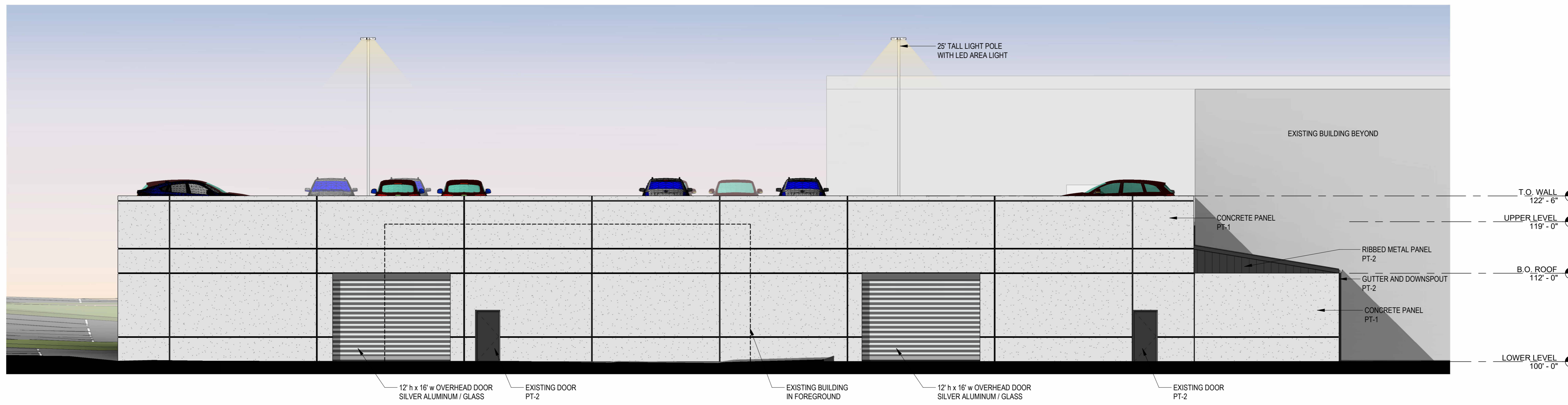
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ADDITION	+	4.1 fc	16.5 fc	0.5 fc	33.0:1	8.2:1
SITE	+	2.0 fc	22.8 fc	0.0 fc	N/A	N/A

Note
 - MEASUREMENTS TAKEN @ GROUND LEVEL
 - MOUNTING HEIGHT NOTED ON EACH FIXTURE

DESIGNER'S NOTE:
 THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IESNA) APPROVED METHODS. ADDITIONALLY, THE PREPARER USED INFORMATION PROVIDED BY THE CUSTOMER. IF/WHEN SUFFICIENT INFORMATION WAS NOT PROVIDED, PREPARER USED EDUCATED ASSUMPTIONS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE(S) MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER FIELD CONDITIONS NOT ACCOUNTED FOR IN THIS PHOTOMETRIC ANALYSIS.
 THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR ENERGY CODE AND RELEVANT LIGHTING QUALITY COMPLIANCE.

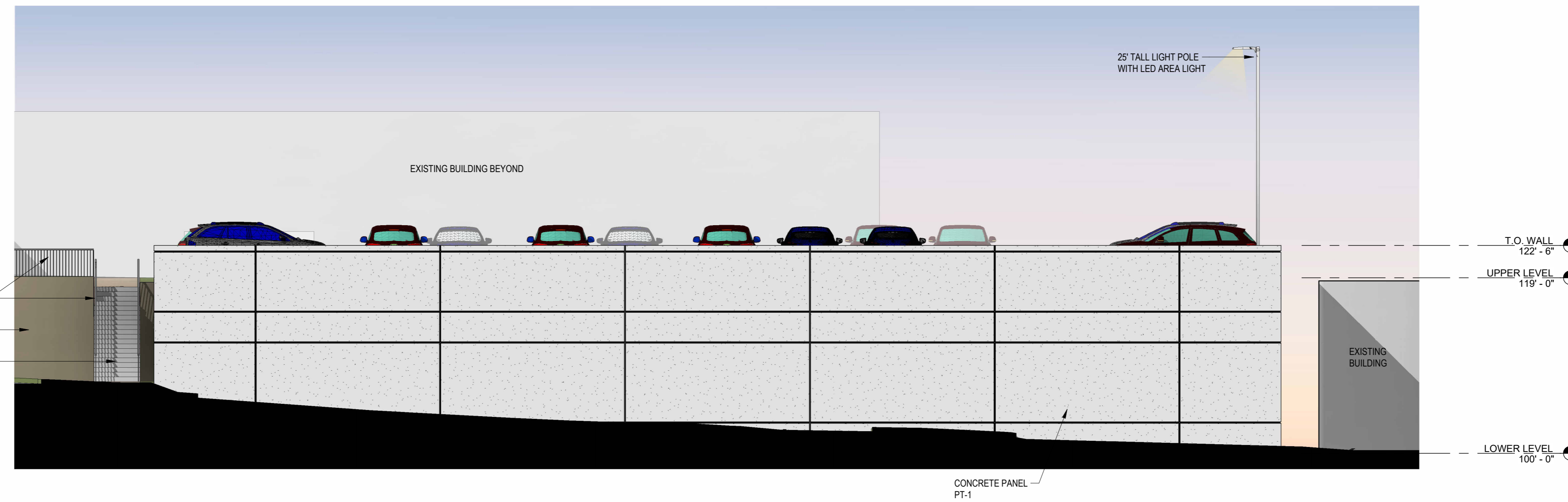


Plan View
 Scale - 1" = 30ft



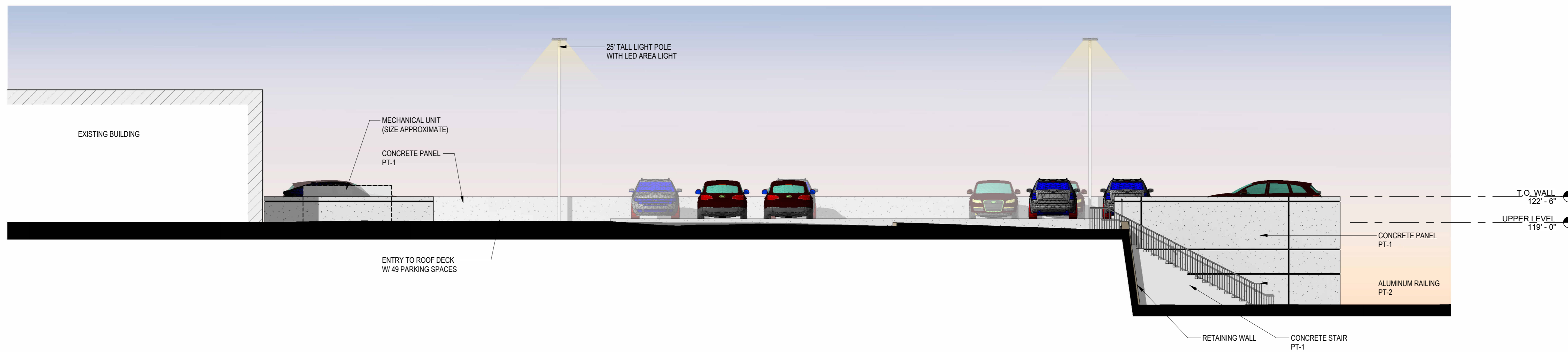
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



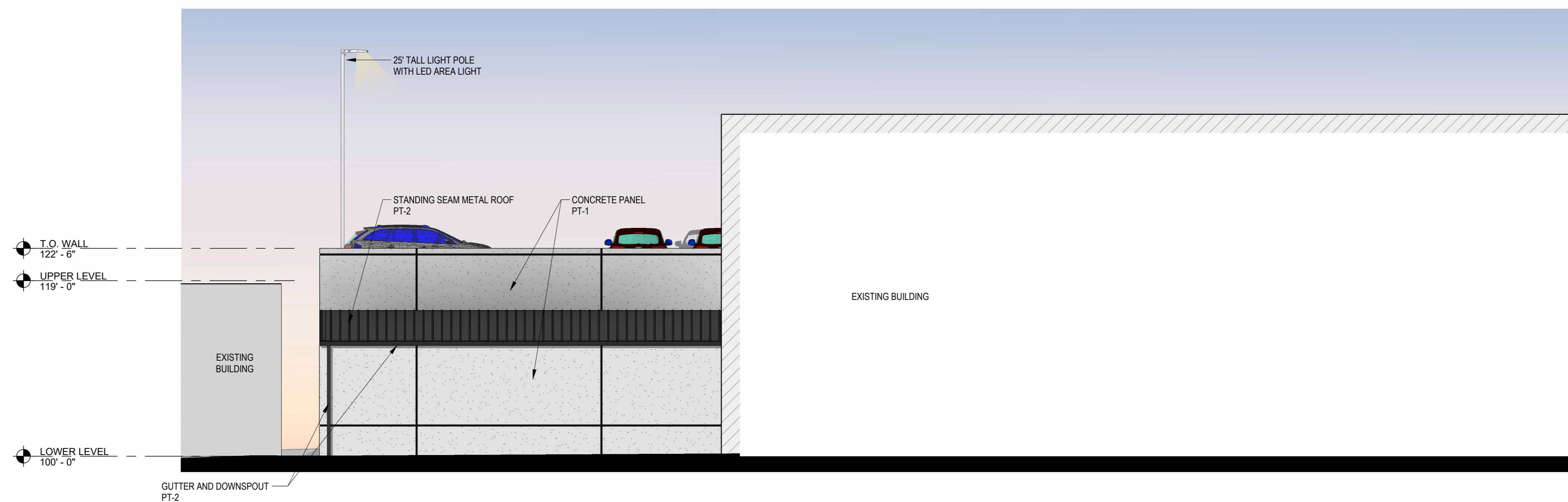
WEST ELEVATION

SCALE: 1/8" = 1'-0"



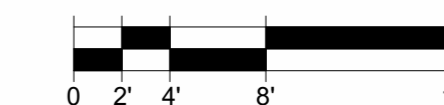
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING MATERIALS / COLORS

- PT-1 - COLOR: WHITE, TO MATCH EXISTING BUILDING
- PT-2 - COLOR: BLACK

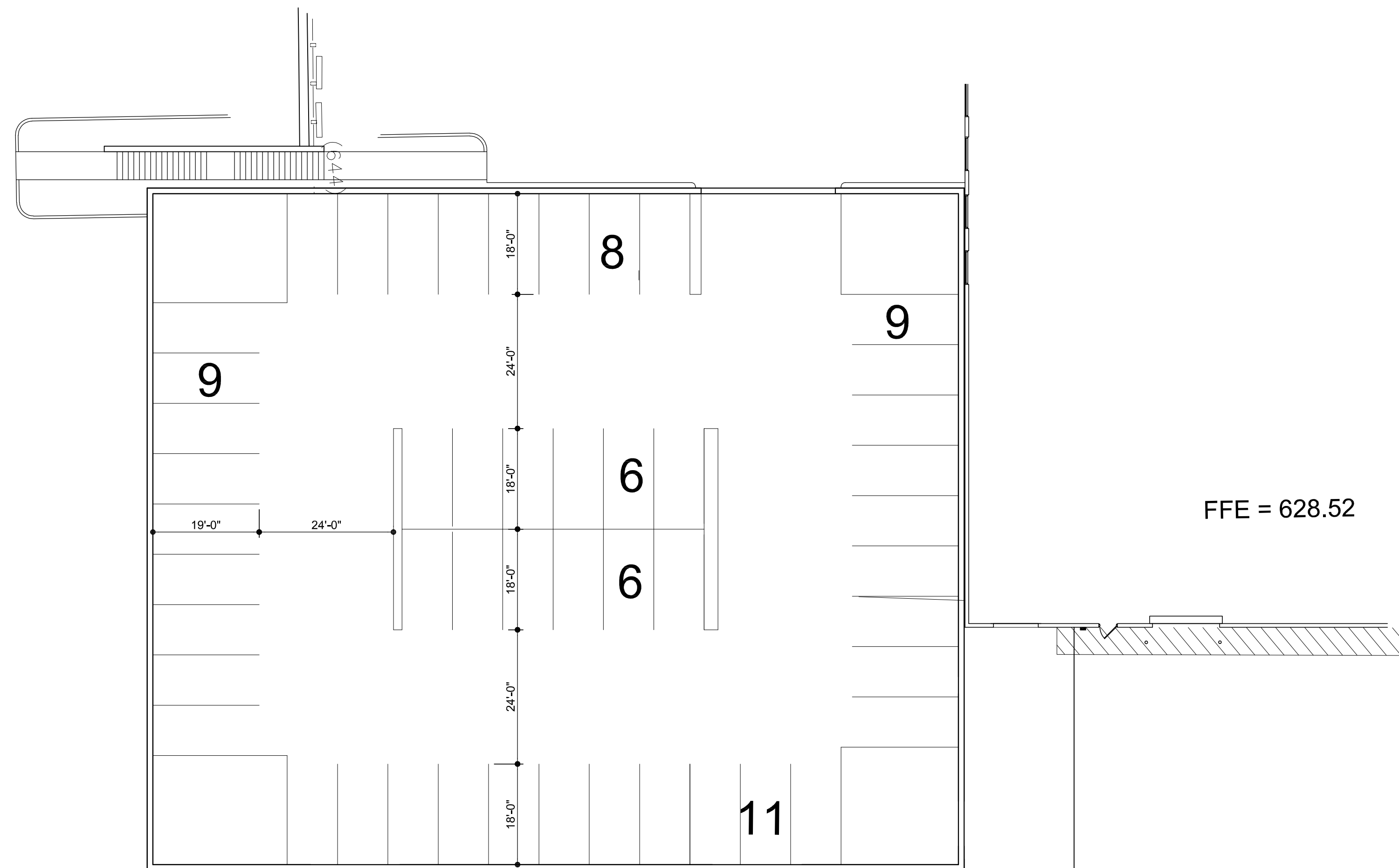


EXISTING VIEW LOOKING NORTHEAST



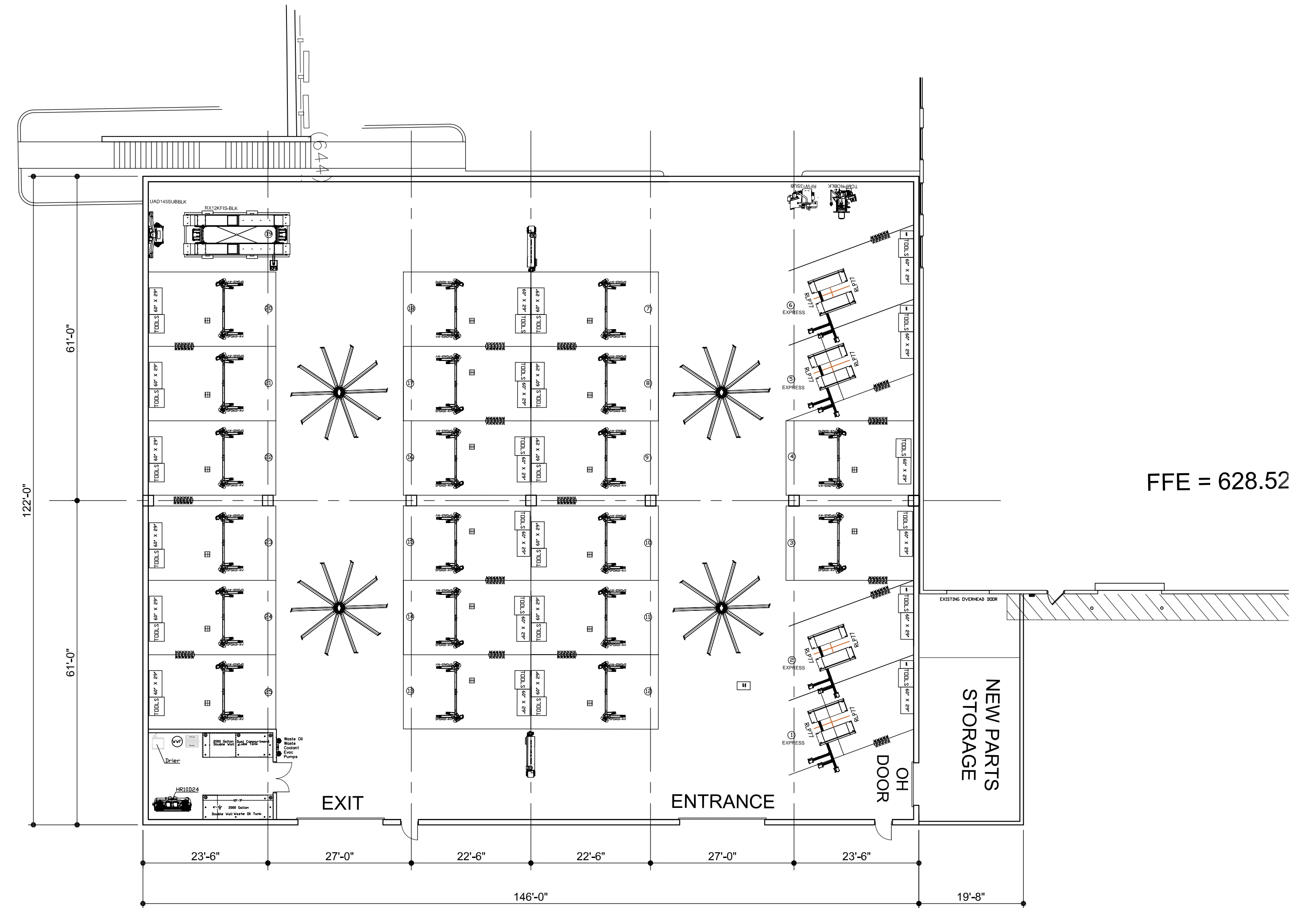
PROPOSED VIEW LOOKING NORTHEAST

SUNSET HILLS SUBARU SERVICE CENTER ADDITION



UPPER LEVEL PLAN

SCALE: 1/16" = 1'-0"



LOWER LEVEL PLAN

SCALE: 1/16" = 1'-0"

SUNSET HILLS SUBARU

Survey

A survey was performed by BFA Inc. on January 5th, 2026. For the site's existing conditions and contours, refer to the Topographic Survey in the project's plan set.

Legal Description

This legal description hereon is the same as the legal description set forth in the Information Title Report, File No. STL2510369L, Effective Date November 18, 2025, Prepared by St. Louis Title, a div. of Fidelity National Insurance Company.

All of Keras Automotive of Sunset Hills Consolidation Plat, a subdivision in St. Louis County, Missouri, according to the plat thereof recorded in Plat Book 368 page 73 of the St. Louis County Records, being more particularly as described as follows:

Part of Lot 3 of the Subdivision by Commissioners in Partition of the Estate of Oswald Sturdy, deceased, in U.S. Survey 2453, Township 44 North, Ranges 5 and 6 East, according to the plat accompanying Commissioners Report in Partition recorded in Book 21 page 93 of the St. Louis County Records, which plat is recorded in Plat Book 2 page 37 of the St. Louis County Recorder's Office, Missouri to wit:

Commencing at a point in the South right of way line of Watson Road, also known as State Highway Traffic Relief Route No. 66, distant 77.53 feet East of the West line of said Lot 3, measured along the South right of way line of said Highway to a found iron rod being the Point of Beginning; thence North 84 degrees 31 minutes 55 seconds East 155.64 feet along said South right of way line of said highway to a found iron rod; thence North 85 degrees 16 minutes 48 seconds East 274.91 feet along said South Highway right of way to a set iron rod; thence leaving said South right of way line South 06 degrees 14 minutes 45 seconds East 551.56 feet to a set iron rod also being in the North property line of Lot 19 of Sturdy Estates Plat 1; thence South 83 degrees 53 minutes 31 seconds West 274.66 feet to a found iron rod also being in the North line of Lot 62 of Sturdy Estates Plat 2; thence South 83 degrees 53 minutes 24 seconds West 155.87 feet to a found iron rod also being in the North line of Lot 64 of Sturdy Estate Plat 2; thence North 06 degrees 14 minutes 11 seconds West 559.97 feet to the point of beginning, containing 5.50 acres.

Project Narrative

The following is a narrative describing the proposed planned development's overall character, requested uses of the chosen zoning district, operations, intent, and impact.

Sunset Hills Subaru is proposing to construct a shop expansion that will be approximately 18,700 SF at their existing facility located at 10100 Watson Road. The proposed shop expansion would add 24 bays to service vehicles. The existing site grades will also allow for the roof of the new structure to serve as a parking area for the upper-level portion of the site. These improvements are centrally located within the site and will not impact surrounding uses.

The development is currently zoned LC – Local Commercial District and has an active CUP authorizing the land use. Because of the building expansion, the development must operate under a Planned Development Permit (PDP) with an amended Conditional Use Permit (CUP). An Amended Conditional Use Permit is being submitted in conjunction with this PDP.

The owner's intent for the shop expansion is to increase the efficiency of current operations. The additional bays will allow more vehicles to enter the shop sooner, and reduce the effort of moving vehicles around the existing facility as equipment and parts are being ordered. Internal traffic circulation will continue to operate similarly to existing conditions, with the goal of reducing vehicle movement in and out of the shop to take advantage of the additional space.

Owner Authorization

City of Sunset Hills
Mike Knight
3939 S Lindbergh Blvd
Sunset Hills, MO 63127

March 24, 2026

RE: Sunset Hills Subaru Proposed Shop Expansion
10100 Watson Road, Sunset Hills, MO 63127

Dear Mr. Knight,

Please accept this letter as authorization for BFA, Inc. to submit applications and act as representation in all permitting matters required for the Sunset Hills Subaru located at 10100 Watson Road in Sunset Hills, MO.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jay K.", is positioned above the typed name and address of Keras Childers Family L P.

Keras Childers Family L P
2080 Covington Pike
Memphis, TN 38128